

SYMBOL LEGEND

CONC. MONUMENT FND	FIRE HYDRANT	MAIL BOX	CLEAN OUT
I.P. / I.B. FND	DEPRESSED CURB	CABLE TV BOX	GAS
TACK / STAKE FND	LANDSCAPED AREA	TELEPHONE BOX	WATER
WETLAND FLAG	DETECTABLE WARNING PAD	A/C UNIT	ELECTRIC
SPOT ELEVATIONS	MANHOLE	TRANSFORMER	TELEPHONE
TRAFFIC SIGNAL POLE	"A"-INLET	ELECTRIC METER	CABLE TV
UTILITY POLE	"B"-INLET	GAS METER	TREE
GUY WIRE	"E"-INLET	WATER METER	SHRUB
LIGHT POLE	YARD INLET	WATER VALVE	BOLLARD
UTILITY POLE W/LIGHT	FLARED END SECTION	GAS VALVE	MONITORING WELL
SIGN			WELL

MAP REFERENCES:

1. MAP ENTITLED "ALTA/NSPS LAND TITLE SURVEY, PARCEL #13-017-109, 500 LINCOLN HIGHWAY, FALLS TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA" PREPARED BY DPK CONSULTING, LLC., DATED OCTOBER 28, 2019, SHEET 1 OF 2.

ZONING TABLE

ZONE REQUIREMENT (\$209-TABLE 4)	ZONE SC
MINIMUM LOT AREA	217,800 SF (5.0 AC.)
MINIMUM LOT WIDTH	200 FT
MINIMUM LOT FRONTAGE	200 FT
MINIMUM LOT DEPTH	200 FT
MINIMUM FRONT YARD SETBACK (LINCOLN HIGHWAY)	
- BUILDING	120 FT
- PARKING	50 FT
MINIMUM FRONT YARD SETBACK (ARLEANS AVE)	
- BUILDING	120 FT
- PARKING	50 FT
MINIMUM REAR YARD SETBACK	
- BUILDING	50 FT
- PARKING	50 FT
MINIMUM SIDE YARD SETBACK	
- BUILDING	50 FT
- PARKING	50 FT
MINIMUM DISTANCE BETWEEN BUILDINGS	20 FT
MAXIMUM BUILDING HEIGHT	50 FT
MAXIMUM LOT COVERAGE (BY BUILDINGS & CANOPIES)	30%
MAXIMUM IMPERVIOUS COVERAGE	75%
N/S: NO STANDARD N/A: NOT APPLICABLE (E): EXISTING NON-CONFORMANCE (V): VARIANCE	

SITE CAPACITY CALCULATIONS:

1. DETERMINE BASE SITE AREA

- A. GROSS SITE AREA = 667,555 SF (15.3250 AC.)
B. ULTIMATE RIGHT-OF-WAY = 4,233 SF (0.0972 AC.)
C. COVENANTS & EASEMENTS = N/A
BASE SITE AREA = 663,322 SF (15.2278 AC.)

2. DETERMINE NATURAL RESOURCE LAND

- A. RESOURCE-PROTECTED LAND = N/A



VICINITY MAP
SCALE: N.T.S.

APPROVED BY THE
BUCKS COUNTY PLANNING COMMISSION

EXECUTIVE DIRECTOR DATE:

TOWNSHIP OF FALLS PLANNING COMMISSION:
HEREBY CERTIFY THAT THIS MAP COMPLIES WITH THE
PROVISIONS OF CHAPTER 191, AND FURTHER CERTIFY THAT IT
HAS BEEN APPROVED FOR FILING IN THE OFFICE OF THE
COUNTY OF BUCKS BY THE "PROPER AUTHORITY", THE
TOWNSHIP OF FALLS PLANNING BOARD.

PLANNING BOARD CHAIRMAN DATE

PLANNING BOARD SECRETARY DATE

TOWNSHIP OF FALLS BOARD OF SUPERVISORS:
I HEREBY CERTIFY THAT THIS MAP COMPLIES WITH THE
PROVISIONS OF CHAPTER 191, AND FURTHER CERTIFY THAT IT
HAS BEEN APPROVED FOR FILING IN THE OFFICE OF THE
COUNTY OF BUCKS BY THE "PROPER AUTHORITY", THE
TOWNSHIP OF FALLS PLANNING BOARD.

CHAIRMAN OF THE TOWNSHIP BOARD OF SUPERVISORS DATE

SECRETARY OF THE TOWNSHIP BOARD OF SUPERVISORS DATE

I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF
MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE
PROVISIONS OF THE TOWNSHIP ORDINANCES AND REQUIREMENTS
APPLICABLE THERETO.

TOWNSHIP ENGINEER DATE

THE SUBDIVISION SHOWN HEREIN IS MADE WITH THE FREE CONSENT AND IN
ACCORDANCE WITH THE DESIRES OF THE OWNERS WHO HEREBY CONSENT TO
THE FILING THEREOF.

KA AT FAIRLESS HILLS L P DATE

25A HANOVER ROAD
FLORHAM PARK, NEW JERSEY
07932

NOTARY DATE

IF THIS DOCUMENT DOES NOT CONTAIN A RAISED
SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS
NOT AN AUTHORIZED ORIGINAL DOCUMENT.

James J. Heiser
Professional Land Surveyor
JHEISER@DPKCONSULTING.NET

DATE 9/19/2020

N.J. Lic: 246504531100
PA. Lic: S0075616
N.Y. Lic: 050932-1
CT. Lic: 70476

PROJECT NUMBER:
19-8564

DRAWING FILE:
19-8564SD01

DATE:
02/21/2020

SCALE:
1" = 50'

DRAWN BY:
T.J.D.

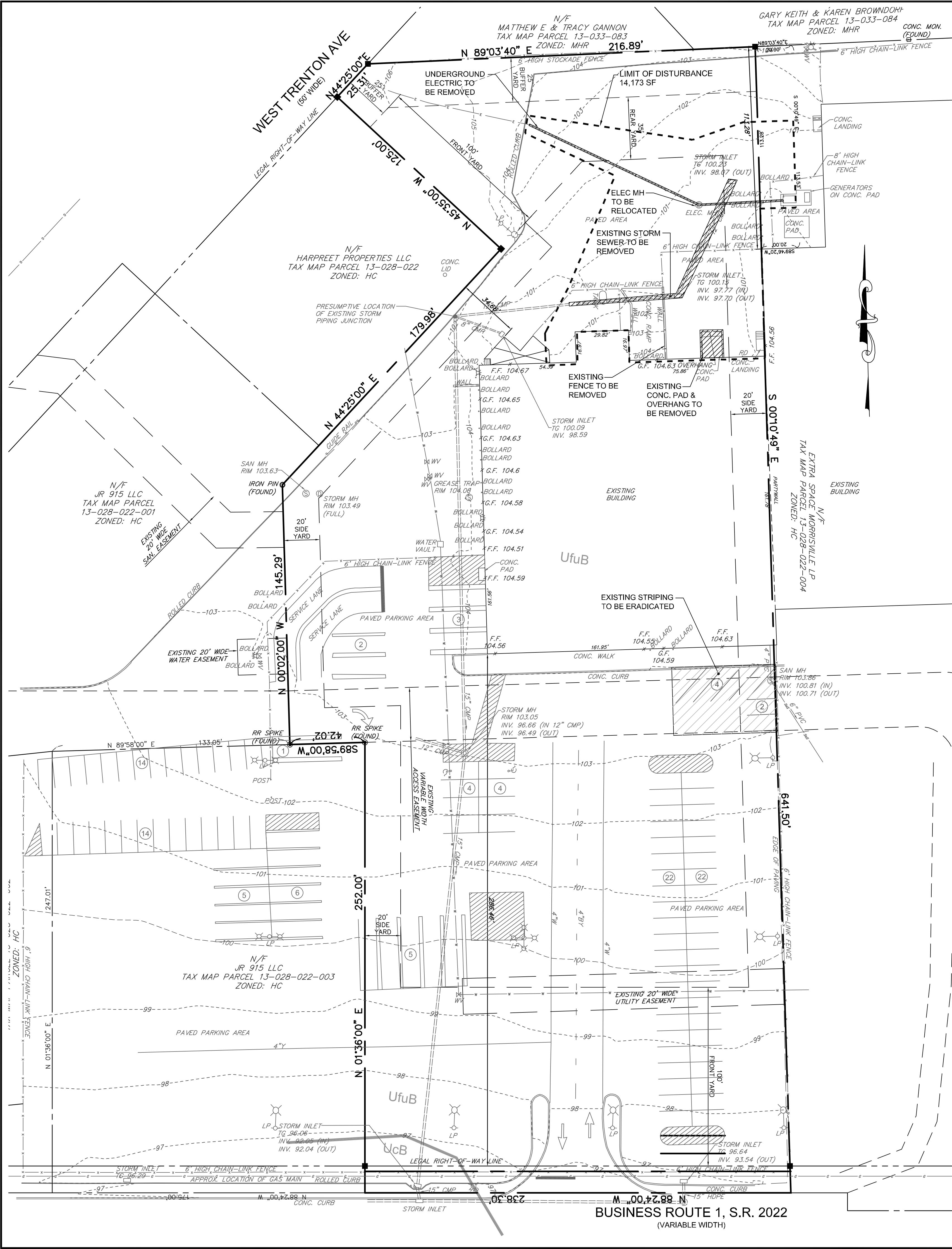
CHK'D BY:
J.J.H.

REV. 1

MINOR SUBDIVISION PLAN
PARCEL #13-017-109
500 LINCOLN HIGHWAY
FALLS TOWNSHIP
BUCKS COUNTY PENNSYLVANIA

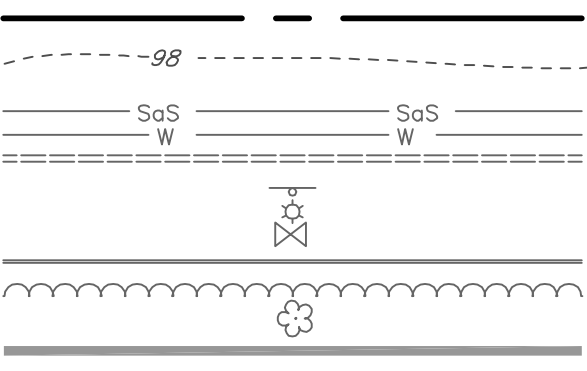
DPK CONSULTING

DPK CONSULTING, LLC
220 OLD NEW BRUNSWICK RD. STE. 201, PISCATAWAY, NJ 08854
P: 732-764-0100 F: 732-764-0800
NEW JERSEY CERTIFICATE OF AUTHORIZATION NO. 246A28042200



Legend

- Tract Boundary Line
- Existing Contour
- Existing Sanitary Sewer
- Existing Water Main
- Existing Storm Sewer
- Existing Sign
- Existing Light
- Existing Valve
- Existing Curb
- Existing Tree/Line/Vegetation to Remain
- Existing Tree
- Soils Line



- SITE CAPACITY CALCULATION:**
FOR DETERMINING THE NET BUILDABLE SITE AREA, THE FOLLOWING FORM SHALL BE USED:
- CALCULATION FOR BASE SITE AREA:**
 - DETERMINE GROSS SITE AREA BY ACTUAL ON-SITE SURVEY: 3.30 AC
 - SUBTRACT THE FOLLOWING :
 - LAND WITHIN EXISTING ROADS AND THEIR ULTIMATE RIGHTS-OF-WAY AND UTILITY TRANSMISSION OR OTHER RIGHTS-OF-WAY: 0.08 AC
 - LAND WITHOUT DEVELOPMENT OPPORTUNITIES DUE TO RESTRICTIONS SUCH AS RESTRICTIVE COVENANTS AND CONSERVATION EASEMENTS: 0.00 AC

TOTAL AREA WITH THESE RESTRICTIONS : 0.08 AC
EQUALS BASE SITE AREA : 3.22 AC
 - CALCULATION FOR LAND WITH RESOURCE RESTRICTIONS AND RESOURCES PROTECTION:**
 - IN THE EVENT TWO(2) OR MORE RESOURCES OVERLAP, ONLY THE RESOURCE WITH THE HIGHEST OPEN SPACE RATIO SHALL BE USED.

NATURAL RESOURCES	PERCENT OF RESOURCE TO BE PROTECTED (I)	TOTAL NATURAL RESOURCE LAND IN ACRES (II)	TOTAL RESOURCE PROTECTED LAND (II x III)
FLOODPLAINS	1.00	0.00	0.00
WETLANDS	1.00	0.00	0.00
WETLANDS MARGIN	0.80	0.00	0.00
LAKE AND PONDS	1.00	0.00	0.00
LAKE AND POND SHORELINES	0.80	0.00	0.00
WATERCOURSES	1.00	0.00	0.00
SLOPES:			
STEEP SLOPES (15% - 25%)	0.70	0.00	0.00
STEEP SLOPES (GREATER THAN 25%)	0.85	0.00	0.00
WOODLANDS:			
ENVIRONMENTALLY SENSITIVE AREAS	0.80	0.00	0.00
ALL OTHERS	0.50	0.00	0.00
TOTALS:		0.00 AC	0.00 AC

- DETERMINE HOW LAND WITH RESOURCE RESTRICTIONS IS TO BE PROTECTED:**
 - LANDS WITH NATURAL RESOURCE RESTRICTIONS MAY BE PRESERVED AS OPEN SPACE IN ACCORDANCE WITH TOWNSHIP ORDINANCES. WHERE A MINIMUM OPEN SPACE RATIO IS REQUIRED IN A ZONING DISTRICT, LANDS WITH NATURAL RESOURCE RESTRICTIONS MAY BE USED TO MEET THIS OPEN SPACE REQUIREMENT.
 - LANDS WITH NATURAL RESOURCE RESTRICTIONS WHICH ARE REQUIRED TO BE PROTECTED BY THIS SECTION MAY OCCUPY REQUIRED SIDE OR REAR YARDS, PROVIDED THAT THERE IS A MINIMUM REAR YARD WITH A DEPTH OF NOT LESS THAN 25 FEET AND MINIMUM SIDE YARDS WITH A WIDTH OF NOT LESS THAN 10 FEET WHICH ARE FREE OF LANDS WITH NATURAL RESOURCE RESTRICTIONS. LANDS WITH NATURAL RESOURCE RESTRICTIONS IN SIDE OR REAR YARDS SHALL BE PROTECTED FROM DISTURBANCE BY MEANS OF A DEED RESTRICTION.

SERIAL No. 2019-2602313
CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN STAGE-STOP CALL
PENNSYLVANIA ONE CALL SYSTEM, INC.
1-800-242-1776

NOT VALID WITHOUT AN EMBOSSED
SEAL OR SIGNATURE IN RED INK

HEATH ALAN DUMACK
REGISTERED PROFESSIONAL ENGINEER
SURVEYOR
SU-054500-E

HEATH A. DUMACK, P.E. & P.L.S.
PA P.E. LICENSE NO. PE-05665-E
PA P.L.S. LICENSE NO. SU-054500-E

DUMACK ENGINEERING
ESTABLISHED IN 1984

677 DURHAM ROAD
P.O. BOX 487
PENN PARK, PA 18943
PHONE: (215) 598-1230
FAX: (215) 598-1232

CIVIL - STRUCTURAL ENGINEERS & SURVEYORS
www.Dumack.com

REV. NO.	DATE	REVISION
1	AUG. 3, 2020	PER TOWNSHIP REVIEW COMMENTS
2		
3		
4		
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EXISTING PARCEL INFO:
T.M.P. No. 13-028-022-005
INSTRUMENT No. 2015024700
CURRENT ZONING: HC
OWNER OF RECORD:
JR 915 LLC
14 MAYFLOWER CIRCLE
HOLLAND, PA 18966
APPLICANT:
SAME AS ABOVE

30 0 15 30
GRAPHIC SCALE

EXISTING FEATURES PLAN
905 LINCOLN HIGHWAY
FALLS TOWNSHIP
BUCKS COUNTY, PA

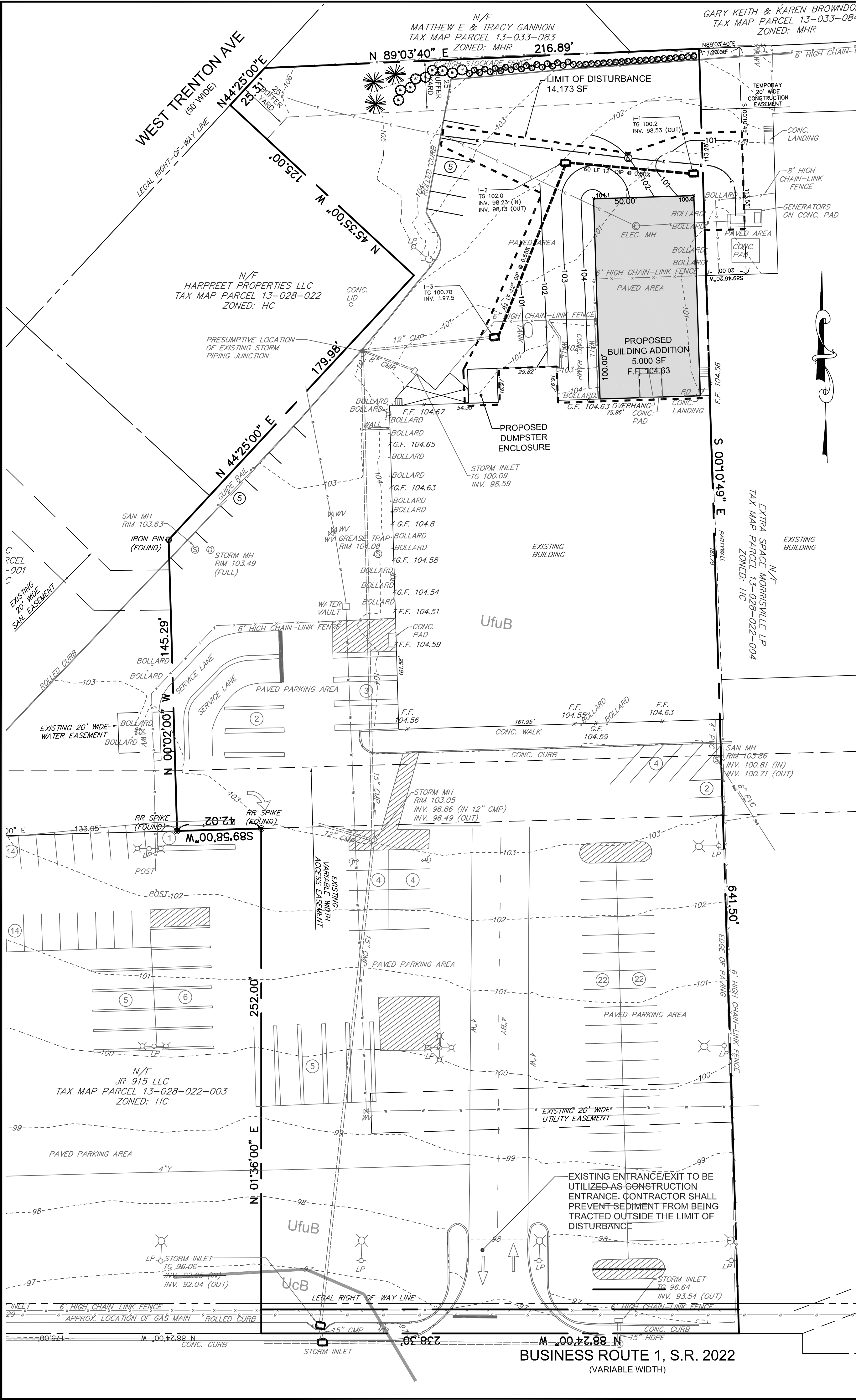
DRAWN BY: HAD
CHECKED BY: HAD
SCALE: 1"=30'
PROJECT NO: 6810
PLAN DATE: SEPT. 17, 2019
SHEET No. 2 OF 7

NATURAL RESOURCE CALCULATION TABLE:

NATURAL RESOURCE	% OF RESOURCE TO BE PROTECTED	% OF RESOURCE PERMITTED TO BE DISTURBED	TOTAL AREA OF NATURAL RESOURCE (AC.)	TOTAL AREA OF REQUIRED RESOURCE PROTECTION (AC.)	ACTUAL AREA OF RESOURCE PROTECTED (AC.)	ACTUAL AREA OF RESOURCE DISTURBED (AC.)	ACTUAL AREA OF RESOURCE DISTURBED (%)
FLOODPLAINS	100%	0%	0.000	0.000	0.000	0.000	0%
WETLANDS	100%	0%	0.000	0.000	0.000	0.000	0%
WETLANDS MARGIN	80%	0%	0.000	0.000	0.000	0.000	0%
LAKE AND PONDS	100%	0%	0.000	0.000	0.000	0.000	0%
LAKE AND POND SHORELINES	80%	20%	0.000	0.000	0.000	0.000	0%
WATERCOURSES	100%	0%	0.000	0.000	0.000	0.000	0%
STEEP SLOPES:							
15%-25%	70%	30%	0.000	0.000	0.000	0.000	0%
25% OR MORE	85%	15%	0.000	0.000	0.000	0.000	0%
WOODLANDS:							
ENVIRONMENTALLY SENSITIVE AREAS	80%	20%	0.000	0.000	0.000	0.000	0%
OTHER WOODED AREAS	50%	50%	0.000	0.000	0.000	0.000	0%

* Natural resource chart treats each resource irrespective of other resources, the site capacity calculations utilize the resource with the highest protection ratio in the case of overlap

SOIL SYMBOLS/ SERIES	DEPTH TO THE TOP SEASONAL WATER TABLE	DEPTH TO RESTRICTIVE FEATURE	BUILDINGS WITHOUT BASEMENTS	BUILDINGS WITH BASEMENTS	SMALL COMMERCIAL BUILDINGS	LAND CAPABILITY	PRIME FARMLAND	HYDROLOGY CODE
UcB UDORTHENTS, SANDY	48 TO 72 INCHES	72 TO 99 INCHES (PARALITHIC BEDROCK)	NOT LIMITED	SOMEWHAT LIMITED DEPTH TO SATURATED ZONE	NOT LIMITED	7s	NOT PRIME FARMLAND	A
UfuB URBAN LAND 0 TO 8% SLOPES	--	--	NOT RATED	NOT RATED	NOT RATED	8s	NOT PRIME FARMLAND	--



GENERAL NOTES:

- THE LOCATION OF EXISTING UNDERGROUND UTILITIES CONTAINED ON THESE PLANS HAVE BEEN OBTAINED BY FIELD SURVEY. COMPLETENESS OR ACCURACY OF THE LOCATION OF UTILITIES CANNOT BE GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS, SURFACE AND SUBSURFACE, AND SHALL NOTIFY THE ENGINEER IN THE EVENT OF DISCREPANCIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UNDERGROUND UTILITY USERS FOR COMPLIANCE WITH PENNSYLVANIA ACT 2008-121.
- NO PORTION OF THE SITE IS LOCATED WITHIN THE 100-YEAR FLOODPLAIN BOUNDARY AS IDENTIFIED ON FEMA MAP 42017C0458J, EFFECTIVE DATE MARCH 16, 2015; AND FEMA MAP 42017C0454K, EFFECTIVE DATE MARCH 21, 2017.
- TOPOGRAPHY AND ELEVATIONS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- REFERENCE IS MADE TO A AMENDED FINAL PLAN FOR EXTRA SPACE STORAGE, PREPARED BY RUGGIERO PLANTE LAND DESIGN, LLC BEING DATED FEB. 5, 2015 AND LAST REVISED APR. 25, 2016 AS RECORDED IN INSTRUMENT No. 2016051106.
- EXISTING LIGHTING IS TO BE UTILIZED FOR PARKING AREAS.
- MONUMENTS SHALL BE PLACED IN THE GROUND AT A TIME SPECIFIED BY THE TOWNSHIP ENGINEER AFTER FINAL GRADING IS COMPLETED. ANY MONUMENT OR IRON PIN DISTURBED DURING CONSTRUCTION SHALL BE RESET UPON THE COMPLETION OF CONSTRUCTION.
- ALL CONTRACTORS WORKING ON THIS PROJECT SHALL BE RESPONSIBLE FOR INSURING THAT ALL CONSTRUCTION ACTIVITIES RELATED TO THIS PROJECT ARE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) STANDARDS.
- ALL PROPOSED UTILITIES SHALL BE UNDERGROUND.
- SITE IS CURRENTLY SERVICE BY PUBLIC WATER AND SEWER. NO NEW CONNECTIONS TO PUBLIC UTILITIES ARE BEING PROPOSED.
- DURING CONSTRUCTION, THE PROPERTY OWNER SHALL BE RESPONSIBLE TO RESTORE ANY PAVING, CURBING, ETC., THAT IS DISTURBED DURING REPAIR AND/OR MAINTENANCE OF ANY UTILITIES.
- NO NOXIOUS ENVIRONMENTAL EFFECT SHALL BE GENERATED ON SITE.
- NO OFFENSIVE ODORS OR GLARES SHALL BE GENERATED ON SITE.
- NO USE SHALL BE PERMITTED THAT WOULD BE NOXIOUS OR OFFENSIVE TO THE IMMEDIATE SURROUNDING AREA BY REASON OF SMOKE, GAS, VIBRATION, NOISE OR WHICH CONSTITUTES A PUBLIC HAZARD BY FIRE, EXPLOSION OR OTHERWISE.
- ALL CONSTRUCTION, MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF FALLS TOWNSHIP AND THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH OSHA STANDARDS.
- ALL WORK AND MATERIALS SHALL BE INSPECTED BY THE TOWNSHIP ENGINEER AND/OR HIS APPROVED REPRESENTATIVES.
- THE SITE IS LOCATED WITHIN THE DELAWARE RIVER SOUTH WATERSHED DISTRICT. THE SITE DRAINS TO ROCK RUN CREEK WITH A CHAPTER 93 EXISTING AND DESIGNATED USE OF WARM WATER FISHES (WWF) AND MIGRATORY FISHES (MF).
- ALL BUILDING MATERIAL AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED OR RECYCLED IN ACCORDANCE WITH DEP'S SOLID WASTE REGULATIONS (25 PA CODE 260.1 ET. SEQ. 271.1 ET. SEQ., AND 287.1 ET. SEQ., AND/OR ANY ADDITIONAL LOCAL, STATE, OR FEDERAL REGULATIONS. NO BUILDING MATERIALS (USED OR UNUSED) OR WASTE MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING THE EXISTING STORM CONVEYANCE SYSTEM IN THE AREA OF THE PROPOSED INLET 1-3 AND NOTIFYING THIS OFFICE IF CONDITIONS VERIFY FROM WHAT IS SHOWN ON THIS PLAN.

Storm Sewer System:

- All storm sewers and their appurtenances shall conform with the latest edition of Bensalem Township, Subdivision and Land Development Ordinance, as revised. The contractor shall obtain and implement these specifications.
- All inlet assemblies shall be constructed in accordance with the requirements of PennDOT Publication 408, Section 605, for inlet assemblies and Section 713.2 for precast cement concrete units and PennDOT Publication, standards for roadway construction, RC-34.
- All storm sewer piping shall be smooth-lined corrugated polyethylene pipe, meeting the requirements of ASTM F 405, ASTM F 667, AASHTO M 252, AASHTO M 292).
- All endwalls shall be constructed in accordance with the requirements of PennDOT Publication 408, Section 605 and PennDOT Publication 72, Standards for Roadway Construction, RC-31.
- All storm sewer inlet grates shall be bicycle safe.
- Contractor shall continuously record all "as-built" information on a planset during construction (including actual invert, length, slope and locational data), and submit a complete "As-built" plan of the system upon completion of construction.

EROSION / SEDIMENT CONTROL PLAN STANDARD NOTES

STOCKPILES MUST NOT EXCEED 35 FEET; STOCKPILE SLOPES MUST NOT EXCEED 2:1.

THE OPERATOR /RESPONSIBLE PERSON(O/RP) ON SITE SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.

IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/ OR SEDIMENT POLLUTION, THE O/RP SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/ OR SEDIMENT POLLUTION.

THE O/RP SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE BUCKS COUNTY CONSERVATION DISTRICT, AND IS BEING IMPLEMENTED AND MAINTAINS FOR ALL SOIL AND/ OR ROCK SPOIL AND BORROW AREAS REGARDLESS OF THEIR LOCATIONS.

ALL PUMPING OF SEDIMENT - LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER UNDISTURBED AREAS.

A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE ON THE PROJECT SITE ALL TIMES.

EROSION AND SEDIMENT BMPs MUST BE CONSTRUCTED, STABILIZED AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs.

AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPERATE EROSION AND SEDIMENT CONTROL BMPs MUST BE REMOVED. AREAS DISTURBED DURING THE REMOVAL OF THE BMPs MUST BE STABILIZED IMMEDIATELY.

AT LEAST SEVEN DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITY, THE O/RP SHALL INVITE ALL CONTRACTORS INVOLVED IN THAT ACTIVITY, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN PREPARED AND THE BUCKS COUNTY CONSERVATION DISTRICT TO A PRE-CONSTRUCTION MEETING. ALSO, AT LEAST THREE DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITY, ALL CONTRACTORS INVOLVED IN THAT ACTIVITY SHALL NOTIFY THE PENNSYLVANIA ONE-CALL SYSTEM INC. 1-800-242-1776 TO DETERMINE ANY UNDERGROUND UTILITIES LOCATIONS.

IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITY CEASES, THE O/RP SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITY, DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT SPECIFIED RATES. DISTURBED AREAS THAT ARE NOT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH:

TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS: DISTURBED AREAS THAT ARE AT FINISHED GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.

AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70 PERCENT VEGETATIVE OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.

UNTIL A SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION CONTROL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN-OUT, REPAIR, REPLACEMENT, RE-GRADING, RE-SEEDING, RE-MULCHING AND RE-NETTING MUST BE PERFORMED IMMEDIATELY IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED. REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED, WILL BE REQUIRED.

SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF ON-SITE IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED OR PLACED IN SOIL STOCKPILES AND STABILIZED.

ALL BUILDING MATERIAL AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED OR RECYCLED IN ACCORDANCE WITH DEP'S SOLID WASTE REGULATIONS (25 PA CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ., AND/OR ANY ADDITIONAL LOCAL, STATE OR FEDERAL REGULATIONS. NO BUILDING MATERIALS (USED OR UNUSED) OR WASTE MATERIALS SHALL BE BURNED, BURIED, DUMPED OR DISCHARGED AT THE SITE.

CONSTRUCTION SEQUENCE

Note: Site development operations should be performed in accordance with the following general sequence of operations. The contractor may deviate from the staging of permanent site improvement construction items, with approval of the Conservation District Inspector. Deviation from the relative order of erosion and sediment control measures should not occur without approval of the Conservation District Inspector and Site Engineer.

- Notify the Bucks County Conservation District and Falls Township 3 days prior to the commencement of construction
- Install inlet protection fence and compost filter sock where shown on the plan.
- Rough grade site.
- Install storm sewer system and stone drywell starting at the downstream ends and working upstream. All trenches shall be backfilled with stone or stabilized with seed and mulch at the end of each day.
- Construct utilities.
- Begin building construction.
- Perform final grading, install plantings and spread topsoil and seed.
- Flush and remove all affected storm drainage pipe of accumulated silt.
- Upon complete stabilization of site, remove erosion control devices. The site shall be considered stabilized when the permanent vegetation has provided a 70% groundcover.
- Until the site is stabilized, all erosion and sedimentation controls must be maintained properly. Maintenance must include inspections of all erosion and sedimentation controls after each storm event or on a weekly basis. All preventative and remedial maintenance work, including clean-out, repair, replacement, regrading, reseedling, and renetting, must be performed immediately.

DRAINAGE PLAN CERTIFICATION:

I, HEATH DUMACK, P.E., ON THIS DATE, _____, HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE DELAWARE RIVER SOUTH WATERSHED DISTRICT STORMWATER MANAGEMENT ORDINANCE OR PLAN.

SIGNATURE DATE

APPLICANT STORMWATER & EROSION CONTROL CERTIFICATION:

I HEREBY CERTIFY THAT ANY REVISION TO THE APPROVED DRAINAGE PLAN MUST BE APPROVED BY THE MUNICIPALITY AND THAT A REVISED E&S PLAN MUST BE SUBMITTED TO THE CONSERVATION DISTRICT FOR A DETERMINATION OF ADEQUACY.

SIGNATURE DATE

SOIL SYMBOLS/ SERIES	DEPTH TO THE TOP SEASONAL WATER TABLE	DEPTH TO RESTRICTIVE FEATURE	BUILDINGS WITHOUT BASEMENTS	BUILDINGS WITH BASEMENTS	SMALL COMMERCIAL BUILDINGS	LAND CAPABILITY	PRIME FARMLAND	HYDROLOGY CODE
UcB UDORTHENTS, SANDY	48 TO 72 INCHES	72 TO 99 INCHES (PARALITHIC BEDROCK)	NOT LIMITED	SOMEWHAT LIMITED DEPTH TO SATURATED ZONE	NOT LIMITED	7s	NOT PRIME FARMLAND	A
UuB URBAN LAND 0 TO 8% SLOPES	--	--	NOT RATED	NOT RATED	NOT RATED	8s	NOT PRIME FARMLAND	--

+SEEDING REQUIREMENTS

- (TAKEN FROM 1992-3 AGRONOMY GUIDE, PENN STATE UNIVERSITY)
- DURING THE NON-GROWING SEASONS MULCH ALONE MAY BE APPLIED, AT THE RATE OF 3 TONS/ACRE. TO TEMPORARY AREAS.
- TEMPORARY
1. APPLY AGRICULTURAL LIMESTONE, EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDES, AT A RATE OF 1 TON PER ACRE, PLUS FERTILIZER AT A RATE OF 50-50-50 (50 LBS N, 50 LBS P205, 50 LBS K2O) PER ACRE.
 2. WORK LIME AND FERTILIZER INTO THE SOIL TO A DEPTH OF 4 INCHES MINIMUM.
 3. INSPECT SEED BED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED.
 4. SEEDING TYPES AND RATES:
 - ANNUAL RYEGRASS 40 LB/AC
 - SPRING GRASS (WILL, WINTER KILL) 96 LB/AC (3 BU.)
 - WINTER WHEAT, OR 180 LB/AC (3 BU.)
 - WINTER RYE 108 LB/AC (3 BU.)
 5. MULCHING (SEE BELOW).

PERMANENT

1. FOR BEST RESULTS, PERMANENT SEEDING SHOULD BE MADE IN THE SPRING (MARCH, APRIL, AND EARLY MAY). FALL SEEDING MAY BE USED, PROVIDED THAT GRASS SEED REQUIRE AT LEAST 4-6 WEEKS OF GROWTH PRIOR TO HARD FROSTS. DO NOT SEED DURING HOT SUMMER MONTHS.
2. THE SUBSOIL SHALL BE GRADED AND UNIFORMLY COMPACTED SO THAT IT WILL BE PARALLEL TO PROPOSED FINISHED GRADE. THE SUBGRADE MATERIAL SHALL BE LOOSENEED AND MIXED TO A DEPTH OF 2 TO 4 INCHES AND ALL STONES OVER TWO INCHES IN SIZE, STICKS AND RUBBISH REMOVED. NO HEAVY OBJECTS EXCEPT LAWN ROLLERS SHALL BE MOVED OVER LAWN AREAS AFTER THE SUBGRADE SOIL HAS BEEN PREPARED. UNLESS THE SUBGRADE SOIL IS AGAIN GRADED AND LOOSENEED AS SPECIFIED ABOVE BEFORE TOPSOIL IS SPREAD.
3. FINISHED GRADING - LAWN AREAS: AFTER THE SUBGRADE SOIL HAS BEEN PREPARED, 4" MIN. TOPSOIL MUST BE SPREAD EVENLY THEREON AND LIGHTLY COMPACTED. NO TOPSOIL SHALL BE SPREAD IN A FROZEN OR MUDDY CONDITION. AREAS TO BE SEEDDED SHALL BE BROUGHT TO FINISHED GRADE AND SMOOTHED. ALLOWANCE FOR SETTLEMENT SHALL BE MADE.
4. SEED SEED GRASS SEED SHALL BE FRESH, RECLEANED SEED OF THE LATEST CROP, DELIVERED TO THE SITE IN THE ORIGINAL, UNOPENED CONTAINERS WHICH SHALL BEAR THE VENDORS NAME AND GUARANTEED ANALYSIS. GRASS SEED SHALL BE MIXED IN THE FOLLOWING PROPORTIONS AND SHALL CONFORM TO THE FOLLOWING PERCENTAGES OF PURITY AND GERMINATION:

MIXTURE	% BY WEIGHT	%PURITY	GERMINATION
KENTUCKY BLUEGRASS	70%	95%	75%
CREeping RED FESCUE	20%	97%	85%
TURF-TYPE PERENNIAL RYE-GRASS	10%	98%	90%

5. REMOVE FOR A DEPTH OF 6 INCHES ALL STONES ONE INCH OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS SUCH AS WIRE, CABLE, TREE MATERIAL, AND DISPOSE PROPERLY. DO NOT BURY ON-SITE.
6. APPLY AGRICULTURAL LIMESTONE AT A RATE OF 2 TONS PER ACRE. APPLY FERTILIZER AT THE RATE OF 50-50-50 PER ACRE.
7. WORK LIME AND FERTILIZER INTO THE SOIL TO A DEPTH OF 8 INCHES. THE FINAL OPERATION WILL CONFORM TO THE GENERAL CONTOUR.
8. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AND FIRMED.
9. APPLY THE FINAL SEED MIXTURE AT THE RATE OF 5 LBS PER 1,000 S.F. TO DEPT OF 1/4" TO 1/2" USING MECHANICAL SEEDER. FIRM SEED WITH ROLLER OR LIGHT DRAg.
10. MULCHING (SEE BELOW)
11. PERMANENT SEEDING MAY ALSO BE APPLIED BY HYDROSEEDING, AT A RATE OF 1,000 GAL/ACRE.

MULCHING

1. MULCH WITH UNROTTEEN GRASS HAY, OR SMALL CERIAL STRAW AT THE RATE OF 3 TONS PER ACRE. HAY IS RECOMMENDED FOR SLOPES.

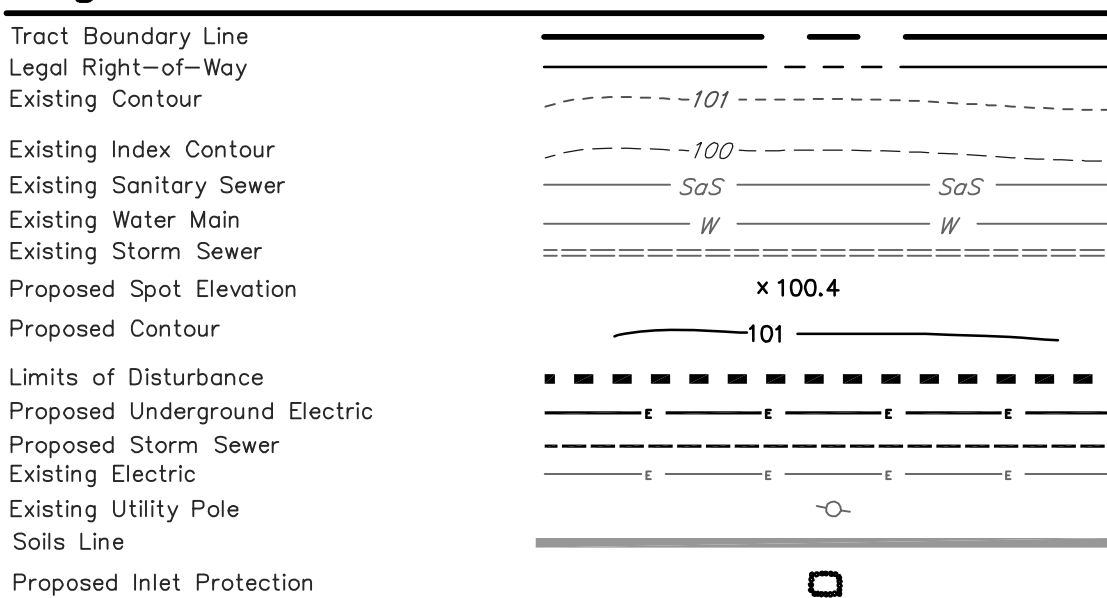
LIQUID MULCH-BINDERS

1. APPLICATION SHOULD BE HEAVIER AT EDGES (WHERE WIND CATCHES THE MULCH), IN VALLEYS, AND AT CRESTS OF BANKS. REMAINDER OF ARE SHOULD BE UNIFORM IN APPEARANCE.
2. THE FOLLOWING ARE THE RECOMMENDED MIXTURES:
 - A. EMULSIFIED ASPHALT - (SS-1, CSS-1, CMS-2, MS-2RS-1, RS-2, CRS-1 AND CRS-2)
 - B. CUTBACK ASPHALT - RAPID CURRING (RC-70, RC-250 AND RC-800) OR MEDIUM CURRING (MC-250) APPLY AT A MINIMUM RATE OF 150 GALS/TON MIXED WITH ONE OF THE FOLLOWING:
 - C. SYNTHETIC OR ORGANIC BINDERS - CURASOL, DCA-70, PETRO-SET, AND TERRA-TACK OR EQUAL, MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS.

SOIL CONSERVATION STANDARD NOTES:

1. BEFORE EARTH DISTURBANCES BEGIN, THE LANDOWNER SHALL BE THOROUGHLY FAMILIAR WITH EROSION AND SEDIMENT CONTROL RULES AND REGULATIONS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENT PROTECTION.
2. AT LEAST THREE WORKING DAYS BEFORE STARTING ANY EARTH DISTURBANCE, THE LANDOWNER SHALL NOTIFY THE BUCKS COUNTY CONSERVATION DISTRICT. AT LEAST THREE DAYS BEFORE EARTH DISTURBANCE BEGINS, THE CONTRACTOR SHALL CONTACT THE PENNSYLVANIA ONE-CALL SYSTEM, AT 1-800-242-1776, TO OBTAIN INFORMATION ON BURIED UTILITY LOCATIONS.
3. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED AT THE SITE AT ALL TIMES.
4. ANY REVISIONS TO THIS PLAN, OR TO ANY OTHER PLANS THAT MAY AFFECT IT, MUST HAVE PRIOR APPROVAL OF THE BUCKS COUNTY CONSERVATION DISTRICT.
5. EROSION AND SEDIMENT CONTROL PLANS MUST BE PREPARED FOR ALL OFF-SITE BORROW AND SPOIL AREAS. THESE PLANS MUST HAVE PRIOR APPROVAL OF THE BUCKS COUNTY CONSERVATION DISTRICT.
6. THE LANDOWNER SHALL PROPERLY IMPLEMENT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
7. UNTIL THE SITE ACHIEVES FINAL STABILIZATION, THE LANDOWNER SHALL INSTALL, OPERATE AND MAINTAIN THE SPECIFIED EROSION AND SEDIMENT CONTROLS. FOR PROJECTS THAT REQUIRE FEDERAL NPDES PERMITS, THE LANDOWNER WILL MAINTAIN WRITTEN INSPECTION LOGS AND WILL MAKE THEM AVAILABLE TO REPRESENTATIVES OF BUCKS COUNTY CONSERVATION DISTRICT. ALL REQUIRED WORK, INCLUDING CLEANING, REPAIR, REPLACEMENT, RE-GRADING, RE-STABILIZATION SHALL BE DONE IMMEDIATELY.
8. UPON DISCOVERY OF CIRCUMSTANCES THAT COULD CAUSE ACCELERATED EROSION AND SEDIMENT POLLUTION, THE LANDOWNER SHALL IMMEDIATELY INSTALL ADDITIONAL APPROPRIATE CONTROL MEASURES.
9. EARTH DISTURBANCE AND CONSTRUCTION MUST PROCEED IN ACCORDANCE WITH THE CONSTRUCTION SEQUENCE. EACH STAGE IN THE SEQUENCE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE BEGINS. CLEARING AND GRUBBING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE.
10. UNCONTAMINATED SEDIMENT REMOVED FROM EROSION AND SEDIMENT CONTROL AREAS SHALL BE DISPOSED OF ON THE SITE, IN LANDSCAPED AREAS OR IN TOPSOIL STOCKPILE, AND SHALL BE STABILIZED IMMEDIATELY. SEDIMENT WILL NOT BE PLACED ON STEEP SLOPES OR IN WETLANDS, FLOODPLAINS OR DRAINAGE SWALES.
11. PUMPED WATER MUST BE DISCHARGED THROUGH A FILTER BAG OR OTHER APPROPRIATE CONTROL MEASURE, LOCATED ON AN UNDISTURBED PART OF THE SITE.
12. THE LANDOWNER SHALL REMOVE FROM THE SITE, RECYCLE OR DISPOSE OFF A BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION SOLID WASTE MANAGEMENT REGULATIONS. THE LANDOWNER SHALL NOT ILLEGALLY BURY, DUMP OR DISCHARGE ANY BUILDING MATERIALS OR WASTES AT THE SITE.

Legend



SERIAL No. 2019-2602313
CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN STAGE-STOP CALL
PENNSYLVANIA ONE CALL SYSTEM, INC.
1-800-242-1776

HEATH ALAN DUMACK
PROFESSIONAL LAND SURVEYOR
PA P.L.S. LICENSE No. PE-05685-E
PA P.L.S. LICENSE No. SU-054500-E

DUMACK ENGINEERING
ESTABLISHED IN 1984

677 DURHAM ROAD
P.O. BOX 487
PENN PARK, PA 18943
PHONE: (215) 598-1230
FAX: (215) 598-1232

CIVIL - STRUCTURAL ENGINEERS & SURVEYORS
www.Dumack.com

A PROFESSIONAL CORPORATION

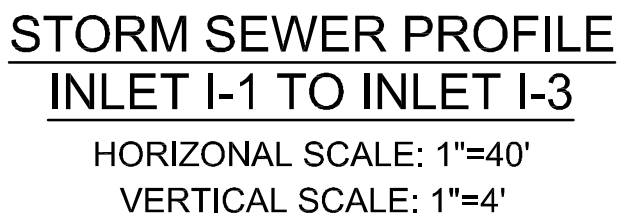
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EXISTING PARCEL INFO:
T.M.P. No. 13-028-022-005
INSTRUMENT No: 2015024700
CURRENT ZONING: HC
OWNER OF RECORD:
JR 915 LLC
14 MAYFLOWER CIRCLE
HOLLAND, PA 18966
APPLICANT:
SAME AS ABOVE

30 0 15 30
GRAPHIC SCALE

**GRADING PLAN
w/EROSION CONTROL**
905 LINCOLN HIGHWAY
FALLS TOWNSHIP
BUCKS COUNTY, PA

DRAWN BY: HAD
CHECKED BY: HAD
SCALE: 1"=30'
PROJECT No: 6810
PLAN DATE: SEPT. 17, 2019
SHEET No. 3 of 7




SERIAL No. 2019-2602313

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN STAGE-STOP CALL

PENNSYLVANIA ONE CALL SYSTEM, INC.

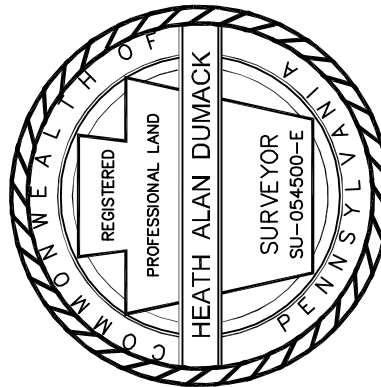
 1-800-242-1776

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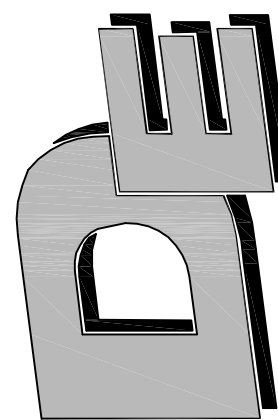
THIS PROJECT HAS BEEN PREPARED FOR MUNICIPAL PURPOSES. ADDITIONAL INFORMATION MAY BE REQUIRED FOR CONSTRUCTION. ANY DIMENSIONS MUST BE OBTAINED BY CONTRACTOR AND ANY DIMENSIONS MUST BE CORRECTED BY CONTRACTOR BEFORE PROCEEDING WITH THE WORK.

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HEATH A. DUMACK, P.E. & P.L.S.
PA P.E. LICENSE No. PE-051685-E
PA P.L.S. LICENSE No. SU-054500-E



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ESTABLISHED IN 1964

677 DURHAM ROAD
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FAX: (215) 598-1232

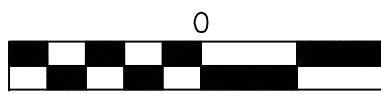
RURAL ENGINEERS
www.Dumack.com

REV No.	DATE	REVISION
1	AUG. 3, 2020	PER TOWNSHIP REVIEW COMMENTS
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EXISTING PARCEL INFO:
T.M.P. No. 13-028-022-005
INSTRUMENT No: 2015024700

CURRENT ZONING: HO
OWNER of RECORD:
JR 915 LLC
14 MAYFLOWER CIRCLE
HOLLAND, PA 18966

APPLICANT:
SAME AS ABOVE



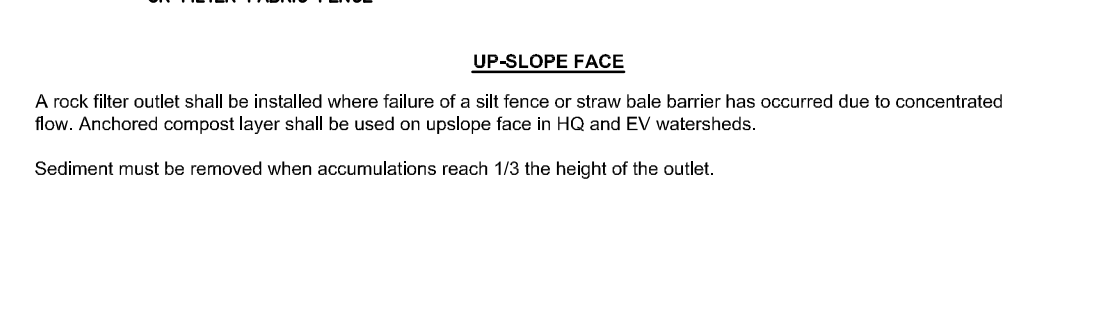
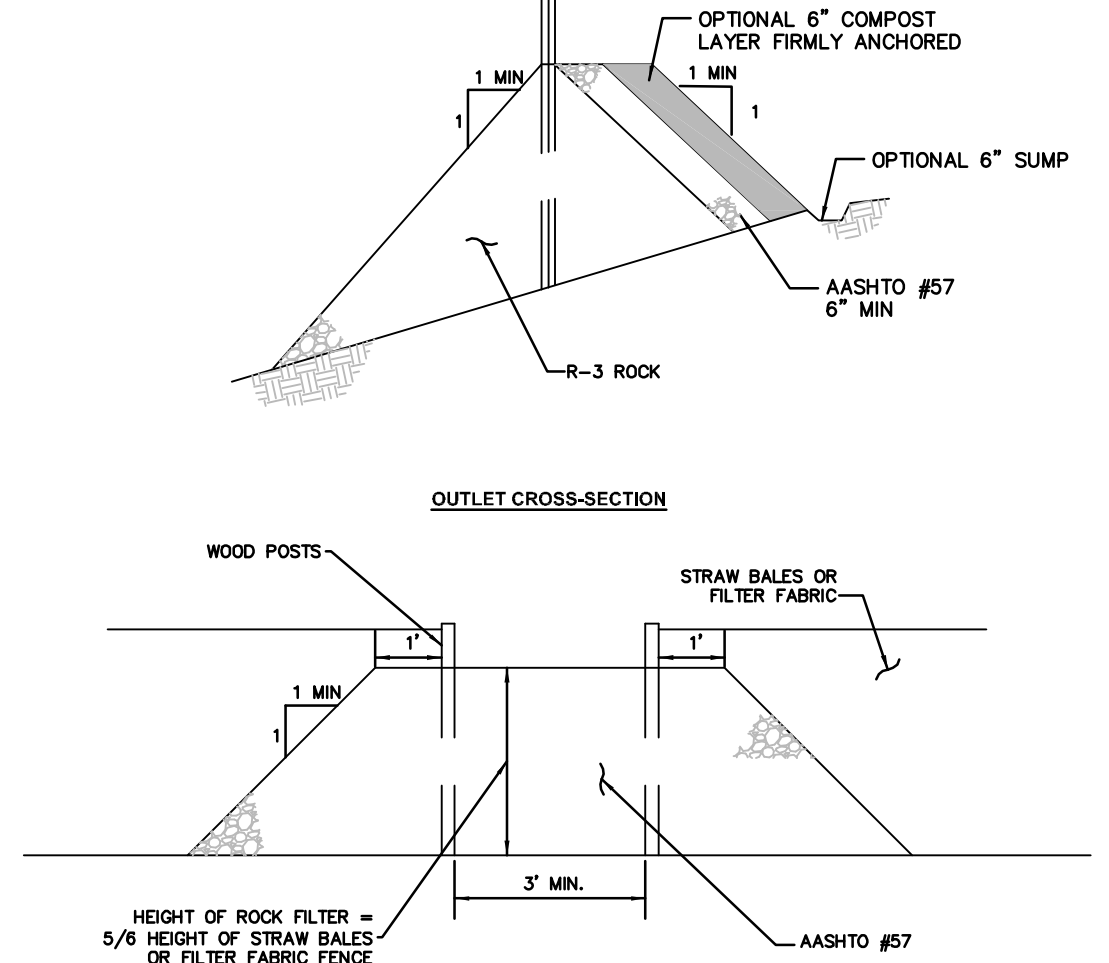
STORMWATER PROFILE

905 LINCOLN HIGHWAY
FALLS TOWNSHIP
BUCKS COUNTY, PA

DRAWN BY: HAD	CHECKED BY:
SCALE: AS NOTED	PROJECT No: 6810
PLAN DATE: SEPT. 17, 2019	SHEET No: 4 OF 7

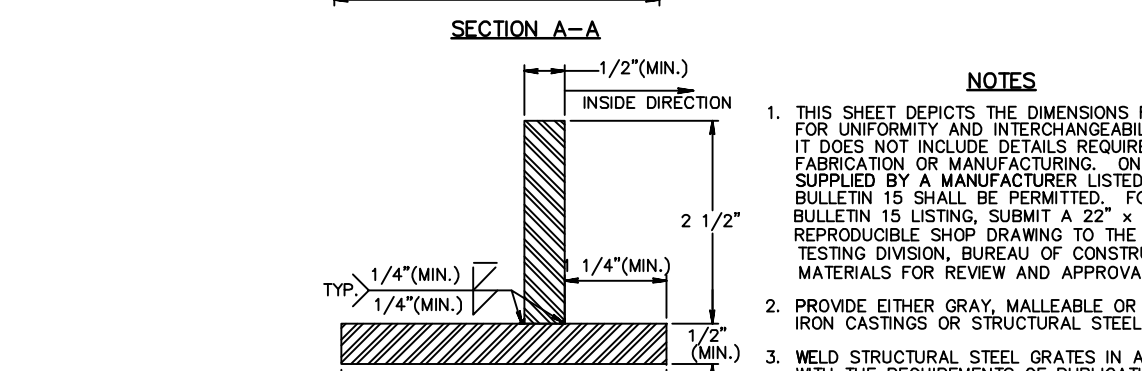
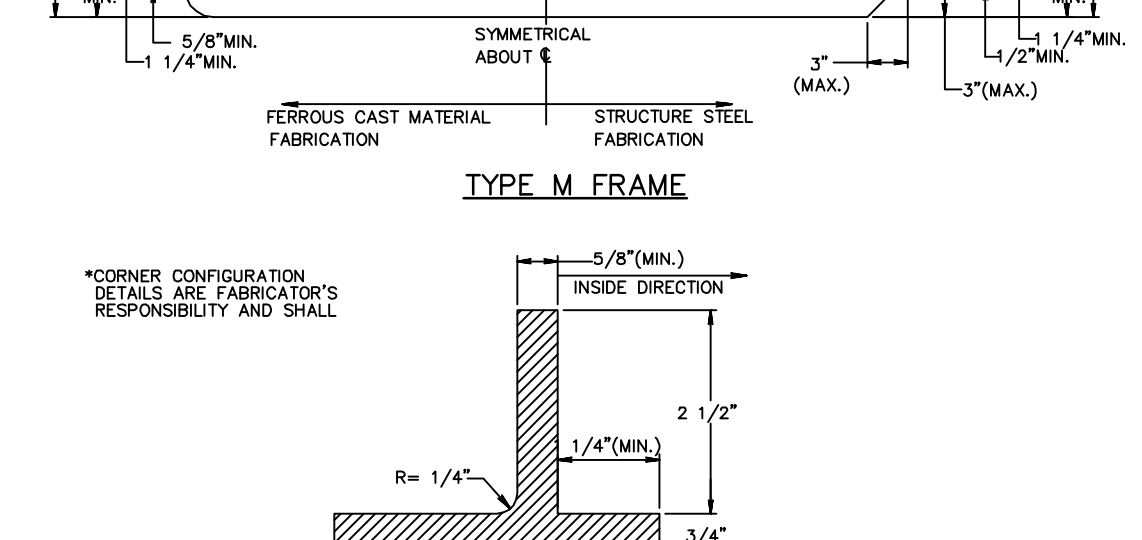
STANDARD CONSTRUCTION DETAIL

Rock Filter Outlets



4" MIN.

TYPE M FRAME



*CORNER CONFIGURATION
DETAILS ARE FABRICATOR'S
RESPONSIBILITY AND SHALL

SECTION A-A

1/2" (MIN.)

INSIDE DIRECTION

2 1/2"

TYP. 1/4" (MIN.) 1/4" (MIN.)

1/4" (MIN.)

4" (MIN.)


SECTION B-B

4" (MIN.)

1/2" (MIN.)

INSIDE DIRECTION

1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 2680, 26



TYPE M INLET

PLAN - INLET BOXES

Storm Pipe Restoration & Bedding Detail


Refer to PennDOT RC-30

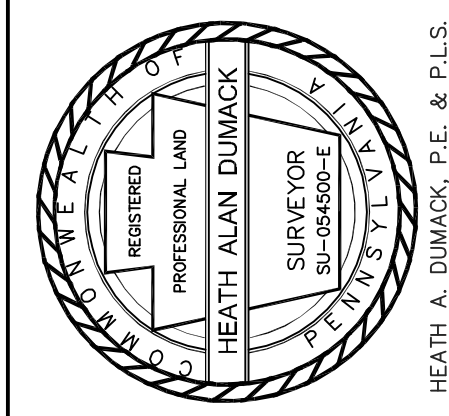
SERIAL No. 2019-2602313

CALL BEFORE YOU DIG!


PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN STAGE-STOP CALL

PENNSYLVANIA ONE CALL SYSTEM, INC.

 1-800-242-1776

[illegible]

NOT VALID WITHOUT AN EMBOSSED
SEAL OR SIGNATURE IN RED INK.



**DUMACK
ENGINEERING**

ESTABLISHED IN 1964

677 DURHAM ROAD
P.O. BOX 487
PENNIS PARK, PA 19943

PHONE: (215) 588-1230
FAX: (215) 588-1232

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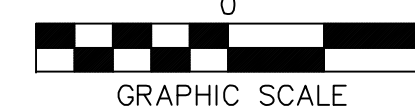
CIVIL - STRUCTURAL ENGINEERS & SURVEYORS

REV NO.	DATE	REVISION
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EXISTING PARCEL INFO:
T.M.P. No. 13-028-022-005
INSTRUMENT No: 2015024700

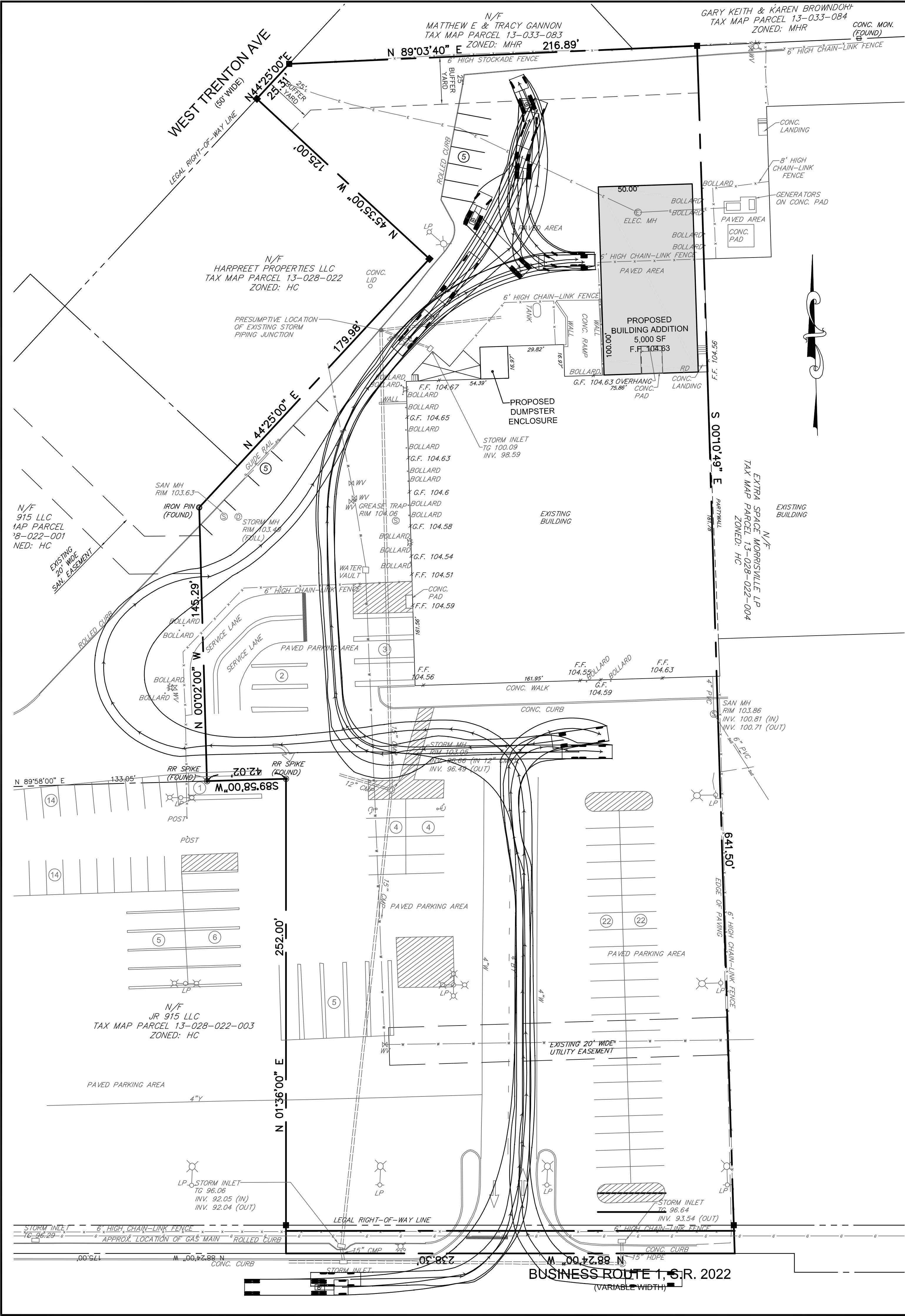
CURRENT ZONING: HC
OWNER of RECORD:
JR 915 LLC
14 MAYFLOWER CIRCLE
HOLLAND, PA 18966

APPLICANT: SAME AS ABOVE

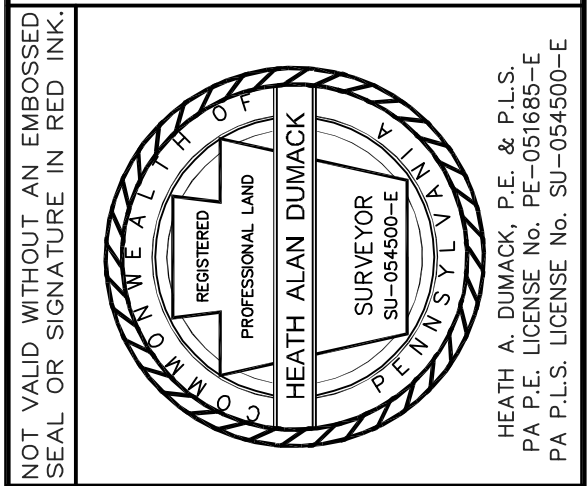


EROSION CONTROL
CONSTRUCTION DETAIL
905 LINCOLN HIGHWAY
FALLS TOWNSHIP
BUCKS COUNTY, PA

DRAWN BY: HAD	CHECKED BY:
SCALE: AS NOTED	PROJECT No: 6810
PLAN DATE: SEPT. 17, 2019	SHEET No: 5 OF 7



SERIAL No. 2019-2602313
CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
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PENNSYLVANIA ONE CALL SYSTEM, INC.
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REV#	DATE	REVISION
1	AUG. 3, 2020	PER TOWNSHIP REVIEW COMMENTS
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EXISTING PARCEL INFO:
T.M.P. No. 13-028-022-005
INSTRUMENT No. 2015024700
CURRENT ZONING: HC
OWNER OF RECORD:
JR 915 LLC
14 MAYFLOWER CIRCLE
HOLLAND, PA 18966
APPLICANT:
SAME AS ABOVE

GRAPHIC SCALE

TRUCK TURNING DIAGRAM
905 LINCOLN HIGHWAY
FALLS TOWNSHIP
BUCKS COUNTY, PA

DRAWN BY: HAD
SCALE: AS NOTED
PLAN DATE: SEPT. 17, 2019

CHECKED BY:
PROJECT No: 6810
SHEET No: 7 OF 7